

FILE: C:\Users\cdbeal\Dropbox\CAD Files\WSU_SW_2022\Rogers1.dwg PLOT DATE: August 17, 2016, 1:30 AM ORIGINAL PAPER SIZE: 22" x 34"

ROGERS AND ORTON HALL

STOREFRONT UPGRADES

Washington State University

Department of Capital Planning and Development

Pullman, Washington

SYMBOLS & GRAPHICS

1

A

GRID LINES

A2

A-201

A1

INTERIOR ELEVATIONS FOUND ON SHEET A-2

A4

A-201

SECTION A4 FOUND ON SHEET A-201

A1

A-101

DETAIL A1 FOUND ON SHEET A-101

1

CONSTRUCTION NOTE

1

WALL TYPE INDICATOR

1

WINDOW TYPE INDICATOR

1

DOOR NUMBER AND/OR TYPE

1

ROOM NAME AND NUMBER

1

DRAWING REVISION 1

NEW WALL

EARTH

CRUSHED ROCK

CONCRETE

CONCRETE MASONRY UNIT

METAL

WOOD FRAMING

PLYWOOD

BATT/LOOSE FILL INSULATION

RIGID INSULATION

CERAMIC TILE

FINISH WOOD

CARPET

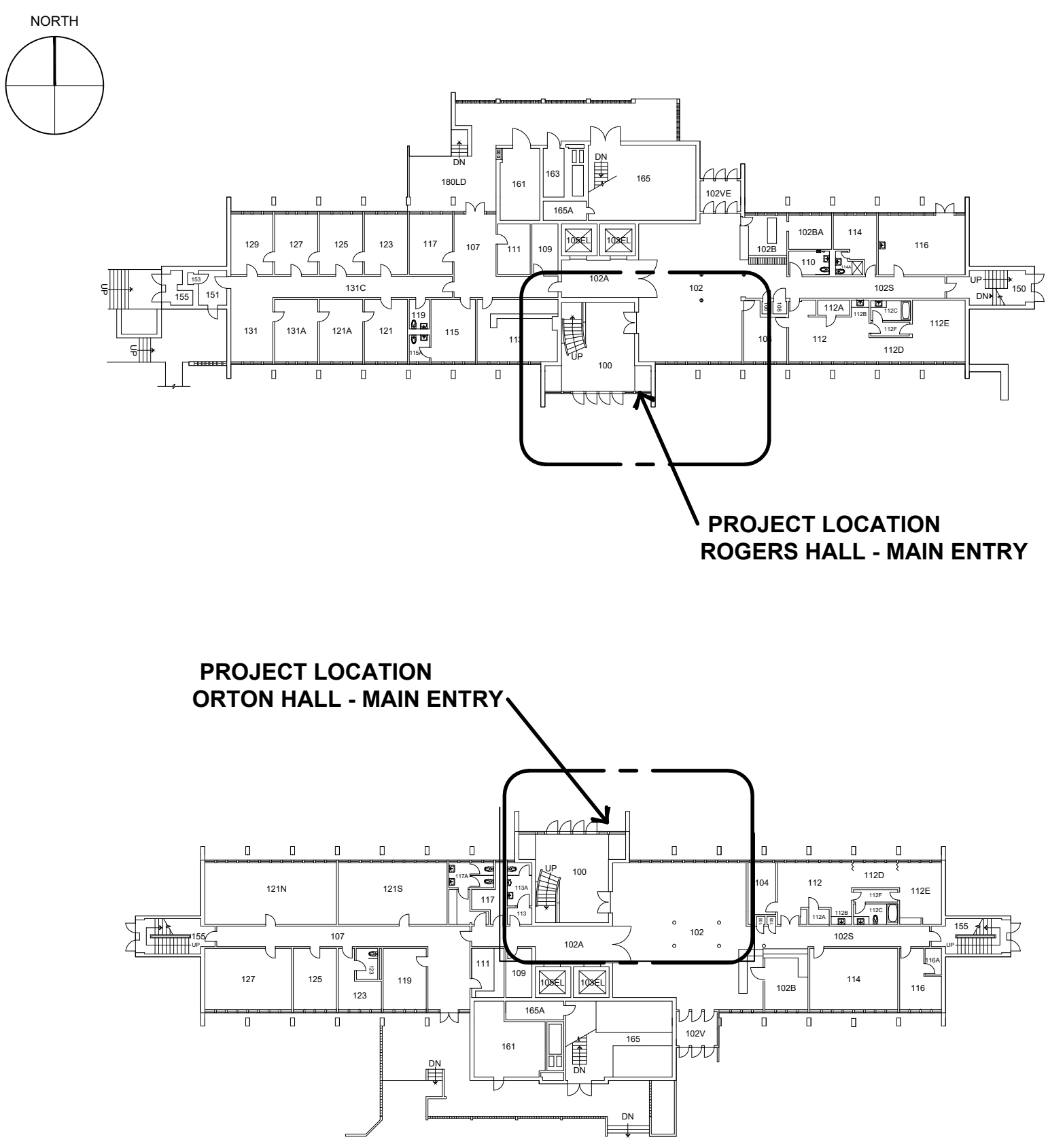
GAS

EXISTNG COMM-LINE

ELECTRICAL UTILITIES

EXISTING CONSTRUCTION TO BE REMOVED

LOCATION MAP



GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO EXECUTING ANY WORK AND SHALL NOTIFY FACILITIES SERVICES CAPITAL N WRITING OF ANYTHING DIFFERING FROM THAT SHOWN ON THE DRAWINGS. FAILURE TO DO SO WILL CONSTITUTE THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
- ALL WORK SHALL COMPLY WITH 2018 IBC AND STATE OF WASHINGTON, CITY OF PULLMAN AND WSU CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL PREVAIL.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED PRIOR TO ANY PHASE OF CONSTRUCTION. FEES AND ANY RELATED COSTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING BUILDINGS, UTILITIES, ETC. OR PORTIONS THEREOF, WHICH ARE DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION, UNLESS OTHERWISE NOTED TO BE REMODELED PER THE CONTRACT DOCUMENTS.
- THE CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG", AT (800) 553-4344 AND/OR ALL APPROPRIATE UTILITY COMPANIES FOR BURIED PIPES OR CABLES, PRIOR TO ANY EXCAVATION.
- EXACT LOCATIONS OF EXISTING UTILITIES ARE TO BE VERIFIED BY THE CONTRACTOR.
- THE DUTIES OF THE OWNER/WASHINGTON STATE UNIVERSITY, ITS ENGINEER, AND ITS DESIGNATED CONSULTING ENGINEER DOES NOT INCLUDE DESIGN AND CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS WORK.
- FOLLOWING IS A LIST OF TELEPHONE NUMBERS THAT MAY NEED TO BE CONTACTED DURING THE CONSTRUCTION PHASE OF THE PROJECT:

- []

Kevin Poltra
PROJECT MANAGER
(509) 335-4121
- []

Roxanne Holden
PROJECT MANAGER (Auxiliary Facilities Services)
(509) 335-1176
- []

WSU DEPARTMENT OF FACILITIES OPERATIONS
(UTILITY INFORMATION) (509) 335-9000
- []

AVISTA UTILITIES (GAS & POWER) (800) 553-4344

INDEX of DRAWINGS

SHEET #	SHEET TITLE
A100	COVER SHEET
A101	FLOOR PLAN/DETAILS/NOTES - ROGERS HALL
A102	FLOOR PLAN/DETAILS/NOTES - ORTON HALL
A103	DETAILS/SCHEDULES

BUILDING INFORMATION

BUILDING CODE OF RECORD:
2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL MECHANICAL (IMC)
2018 INTERNATIONAL FIRE CODE (IFC)
2020 NATIONAL ELECTRICAL CODE (NEC)
2018 WASHINGTON STATE ENERGY CODE (WSEC)
2018 UNIFORM PLUMBING CODE (UPC)

PROJECT LOCATION:
ROGERS AND ORTON HALLS - MAIN LEVEL ENTRIES
WSU PULLMAN CAMPUS
PULLMAN, WA

SCOPE OF WORK:
STOREFRONT REPLACEMENT

BUILDING INFORMATION:
BUILDING TYPE: I-B
CURRENT OCCUPANCY: B
PROPOSED OCCUPANCY: B
OCCUPANCY LOAD/EXITING: UNCHANGED

ABBREVIATIONS

AB A.C. ALUM.	ANCHOR BOLT AIR CONDITIONING ALUM.	DR D.I.	DOOR DUCTILE IRON	FIN. FLR. FTG.	FINISH FLOOR FOOTING FOUNDATION	H.C. HDWD. HT.	HOLLOW CORE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HIGH POINT	KV KVA L&I LAV. L.P. LTG.	KILAVOLT KILAVOLT AMPERE LABOR & INDUSTRY LAVATORY LOW POINT LIGHTING	N.I.C. N.T.S. NO. NOM.	NOT IN CONTRACT NOT TO SCALE NUMBER NOMINAL	R. PLYWD. PT. PREFAB. PROP.	PLATE PLYWOOD POINT PREFABRICATED PROPERTY	S.C. SPEC. SQ. SQ. FT. SS STD. STL. STOR. STRUCT. SUSP. CLG. SV.	SOLID CORE SPECIFICATION SQUARE SQUARE FOOT STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED CEILING STEAM SHEET VINYL	T&G T.O.C. T.O.F. TYP.	TONGUE & GROOVE TOP OF CURB TOP OF FOOTING TYPICAL		
BTM. BRKT. BLDG.	BOTTOM BRACKET BUILDING	ELEC. ELEV. EQ. EXCAV. EXP. BOLT E.J.	ELECTRICAL ELEVATION EQUAL EXCAVATION EXPANSION BOLT EXPANSION JOINT	GALV. GA. GYP. BD. GRND.	GALVANIZED GAUGE GYPSUM BOARD GROUND	INSUL. I.D.	INSULATION INSIDE DIAMETER JOINT JUNCTION BOX	M.H. MFR. MAT. MAX. MECH. MIN.	MANHOLE MANUFACTURER MATERIAL MAXIMUM MECHANICAL MINIMUM	O.C. O.D. OPG. O. TO O. OVHD.	ON CENTER OUTSIDE DIAMETER OPENING OUTSIDE TO OUTSIDE OVERHEAD	RAD. RECP. REINF. REOD. R.D. R.	RADIUS RECEPTACLE REINFORCING REQUIRED ROOF DRAIN ROOM	STOR. STRUCT. SUSP. CLG. STM.	STORAGE STRUCTURAL SUSPENDED CEILING STEAM SHEET VINYL	UNFIN. VERT.	UNFINISHED VERTICAL	WD. W.C.	WOOD WATER CLOSET

DESIGN FIRM:

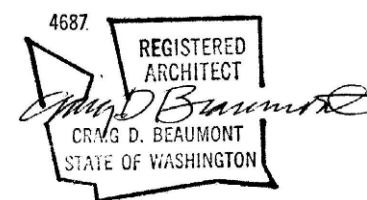


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CONSULTANTS:

PROVISIONAL STAMP:



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**ROGERS AND
ORTON HALLS**

STOREFRONT UPGRADES

FACILITIES NO. 83 & 87

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	6/5/23	CONSTRUCTION DOCUMENT - REVISED
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	11/21/22	75% REVIEW

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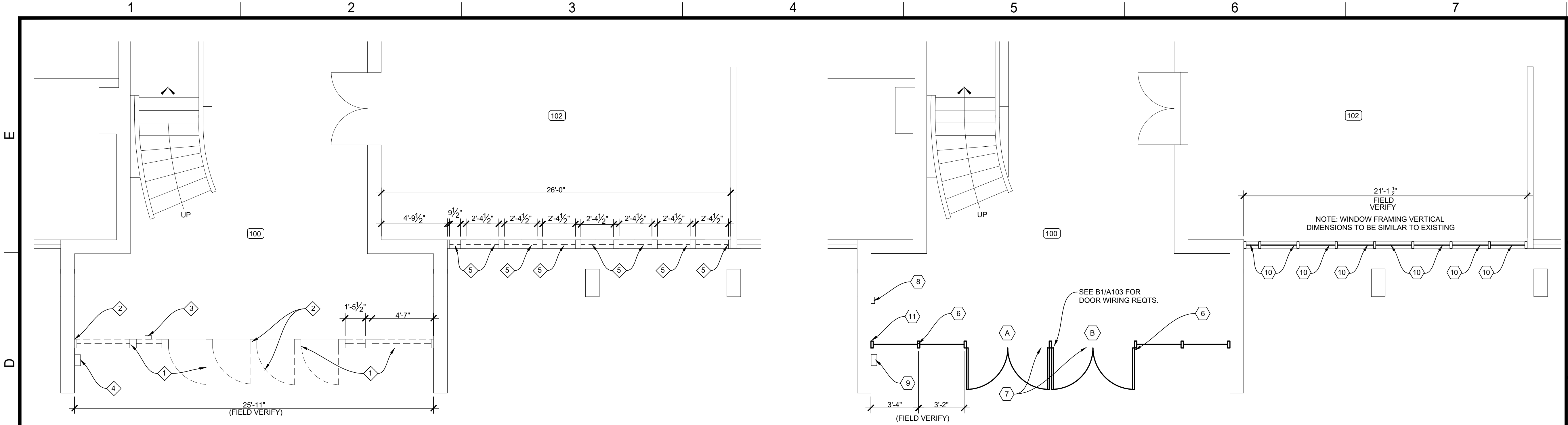
SHEET TITLE

**COVER SHEET
DETAILS/NOTES**

A100

SHEET 1 OF 4 SHEETS

FILE: C:\Users\tdbaa\Dropbox\CAD Files\WSU_SW_2022\Rogers1.dwg PLOT DATE: August 17, 2016, 11:30 AM ORIGINAL PAPER SIZE: 22" x 34"



D1 DEMOLITION PLAN - ROGERS HALL
1/4"=1'-0"

D4 NEW CONST. PLAN - ROGERS HALL
1/4"=1'-0"

KEYED NOTES:

DEMOLITION:

NOTE: ASBESTOS CONTAINING MATERIAL MAY BE ENCOUNTERED. A GOOD FAITH SURVEY HAS BEEN COMPLETED AND IS AVAILABLE FROM THE PROJECT MANAGER

1

EXISTING ALUMINUM DOORS, FRAMES, GLAZING, HARDWARE (INCLUDING PULLS, PANIC HARDWARE, HINGES, LOCKS, CLOSERS, STOPS AND THRESHOLDS) TO BE REMOVED.

2

PATCH ALL ADJOINING WALLS, FLOOR AND CEILING/SOFFITS TO MATCH EXISTING CONDITION. PREPARE SURFACES AS REQUIRED FOR NEW DOOR SYSTEM INSTALLATION. TOUCH-UP ALL PAINTED SURFACES DISTURBED DURING DEMOLITION TO MATCH EXISTING CONDITIONS. PAINT EXPOSED CONDUIT AND OTHER ELECTRICAL COMPONENTS. PAINT FIRE SPRINKLER ENCLOSURE. PAINT COLOR TO BE DETERMINED.

3

EXISTING ACCESSIBLE ENTRANCE CONTROL TO BE REMOVED AND RETAINED FOR RE-USE PER WSU PROJECT MANAGER DIRECTION.

4

EXISTING BUILDING ACCESS CONTROL PANEL TO BE REMOVED AND RETAINED FOR RE-USE PER WSU PROJECT MANAGER DIRECTION.

5

EXISTING ALUMINUM FRAMING AND 1/4" GLAZING TO BE REMOVED AND DISPOSED OFF. PREPARE EXISTING OPENING FOR NEW ALUMINUM FRAMING, GLAZING AND GLAZING INFILL PANELS.

NEW CONSTRUCTION:

6

NEW ALUMINUM DOOR/FRAME/RELITE SYSTEM. INSTALL AT APPROXIMATELY THE SAME LOCATION AS EXISTING DOORS/FRAMES TO BE REMOVED (SEE DEMOLITION NOTES). INSTALL NEW FRAMES PER MANUFACTURER'S WRITTEN INSTRUCTIONS, USING ANCHORS, FASTENERS AND CONNECTIONS RECOMMENDED FOR THIS INSTALLATION.

7

NEW DOOR THRESHOLDS TO BE PEMKO THRESHOLDS. THRESHOLD CONFIGURATION AND ATTACHMENT VARIES. NEW THRESHOLDS TO MATCH EXISTING CONDITIONS AND INTEGRATE WITH NEW DOOR/FRAME SYSTEMS.

8

NEW ACCESSIBLE ENTRANCE CONTROL TO BE RE-INSTALLED/RELOCATED PER DIRECTION OF WSU PROJECT MANAGER.

9

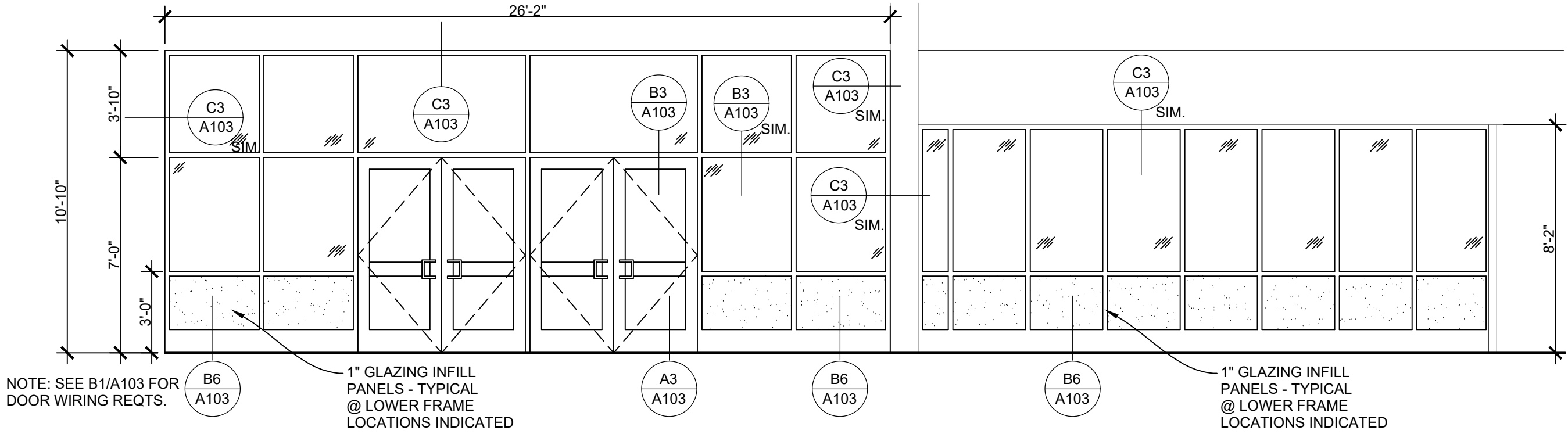
NEW BUILDING ACCESS CONTROL TO BE RE-INSTALLED PER DIRECTION OF WSU PROJECT MANAGER.

10

NEW 1" GLAZING INFILL PANELS TO BE INSTALLED IN NEW ALUMINUM FRAMES WHERE EXISTING GLAZING PANELS REMOVED. SEE SPECIFICATION FOR ADDITIONAL DETAIL REGARDING THE GLAZING INFILL PANELS. PROVIDE ALL SEALANT, GLAZING TAPE, ETC. AS RECOMMENDED BY MANUFACTURER FOR WEATHERTIGHT INSTALLATION.

11

EXISTING WALL FINISH TO ABUT NEW ALUMINUM FRAME TO MATCH EXISTING CONDITION. PATCH/REPAIR ANY PORTION OF WALL PANELS DAMAGED DURING DEMOLITION, TO MATCH EXISTING CONDITION. TYPICAL AT BOTH SIDES OF EXISTING STOREFRONT.



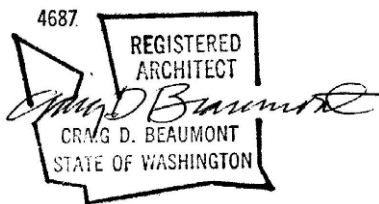
B4 STOREFRONT ELEVATION - ROGERS HALL
1/4"=1'-0"

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ROGERS AND ORTON HALLS

STOREFRONT UPGRADES

FACILITIES NO. 83 & 87

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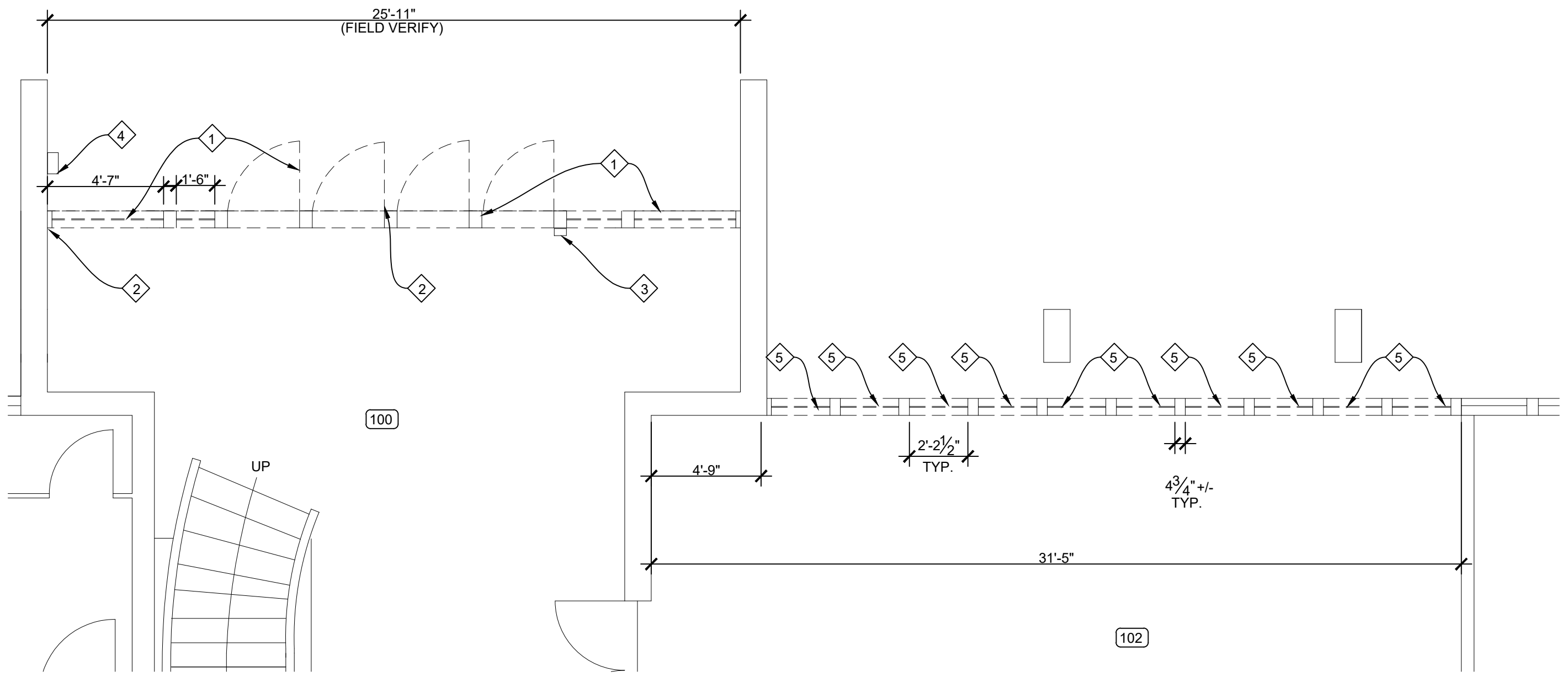
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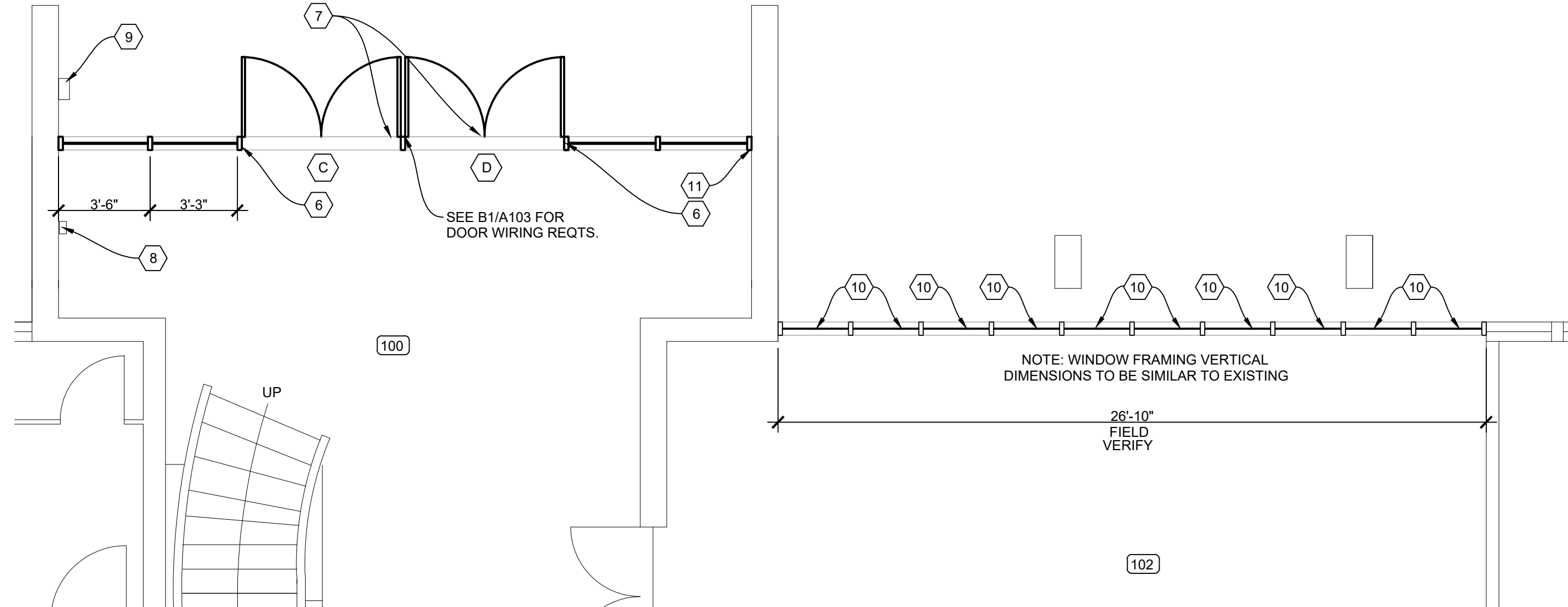
FLOOR PLAN -
DETAILS/NOTES -
ROGERS HALL

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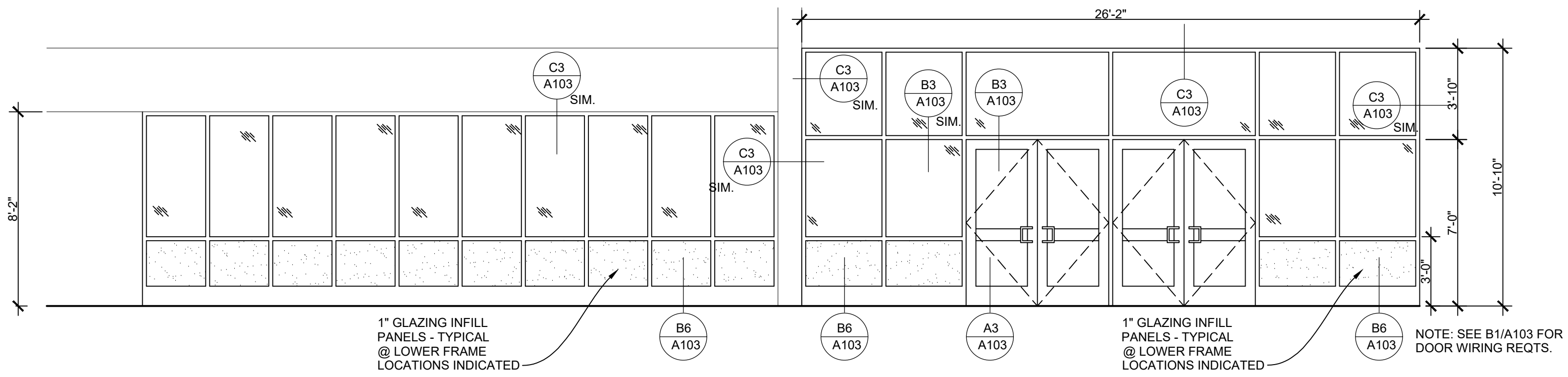
E
D
C
B
A



D1 DEMOLITION PLAN - ORTON HALL
1/4"=1'-0"



B1 NEW CONST. PLAN - ORTON HALL
1/4"=1'-0"

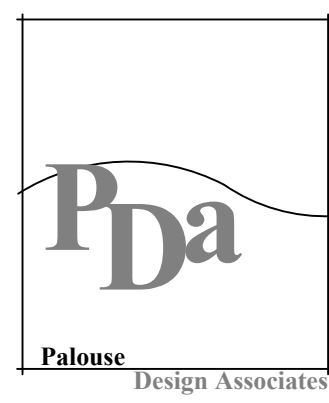


A1 STOREFRONT ELEVATION - ORTON HALL
1/4"=1'-0"

KEYED NOTES:

- DEMOLITION:**
- 1 EXISTING ALUMINUM DOORS, FRAMES, GLAZING, HARDWARE (INCLUDING PULLS, PANIC HARDWARE, HINGES, LOCKS, CLOSERS, STOPS AND THRESHOLDS) TO BE REMOVED.
 - 2 PATCH ALL ADJOINING WALLS, FLOOR AND CEILING/SOFFITS TO MATCH EXISTING CONDITION. PREPARE SURFACES AS REQUIRED FOR NEW DOOR SYSTEM INSTALLATION. TOUCH-UP ALL PAINTED SURFACES DISTURBED DURING DEMOLITION TO MATCH EXISTING CONDITIONS. PAINT EXPOSED CONDUIT AND OTHER ELECTRICAL COMPONENTS. PAINT FIRE SPRINKLER ENCLOSURE. PAINT COLOR TO BE DETERMINED.
 - 3 EXISTING ACCESSIBLE ENTRANCE CONTROL TO BE REMOVED AND RETAINED FOR RE-USE PER WSU PROJECT MANAGER DIRECTION.
 - 4 EXISTING BUILDING ACCESS CONTROL PANEL TO BE REMOVED AND RETAINED FOR RE-USE PER WSU PROJECT MANAGER DIRECTION.
 - 5 EXISTING ALUMINUM FRAMING AND 1/4" GLAZING TO BE REMOVED AND DISPOSED OFF. PREPARE EXISTING OPENING FOR NEW ALUMINUM FRAMING, GLAZING AND GLAZING INFILL PANELS.
- NEW CONSTRUCTION:**
- 6 NEW ALUMINUM DOOR/FRAME/RELITE SYSTEM. INSTALL AT APPROXIMATELY THE SAME LOCATION AS EXISTING DOORS/FRAMES TO BE REMOVED (SEE DEMOLITION NOTES). INSTALL NEW FRAMES PER MANUFACTURER'S WRITTEN INSTRUCTIONS, USING ANCHORS, FASTENERS AND CONNECTIONS RECOMMENDED FOR THIS INSTALLATION.
 - 7 NEW DOOR THRESHOLDS TO BE PEMKO THRESHOLDS. THRESHOLD CONFIGURATION AND ATTACHMENT VARIES. NEW THRESHOLDS TO MATCH EXISTING CONDITIONS AND INTEGRATE WITH NEW DOOR/FRAME SYSTEMS.
 - 8 NEW ACCESSIBLE ENTRANCE CONTROL TO BE RE-INSTALLED/RELOCATED PER DIRECTION OF WSU PROJECT MANAGER.
 - 9 NEW BUILDING ACCESS CONTROL TO BE RE-INSTALLED PER DIRECTION OF WSU PROJECT MANAGER.
 - 10 NEW 1" GLAZING INFILL PANELS TO BE INSTALLED IN NEW ALUMINUM FRAMES WHERE EXISTING GLAZING PANELS REMOVED. SEE SPECIFICATION FOR ADDITIONAL DETAIL REGARDING THE GLAZING INFILL PANELS. PROVIDE ALL SEALANT, GLAZING TAPE, ETC. AS RECOMMENDED BY MANUFACTURER FOR WEATHERTIGHT INSTALLATION.
 - 11 EXISTING WALL FINISH TO ABUT NEW ALUMINUM FRAME TO MATCH EXISTING CONDITION. PATCH/REPAIR ANY PORTION OF WALL PANELS DAMAGED DURING DEMOLITION, TO MATCH EXISTING CONDITION. TYPICAL AT BOTH SIDES OF EXISTING STOREFRONT.
- NOTE: ASBESTOS CONTAINING MATERIAL MAY BE ENCOUNTERED. A GOOD FAITH SURVEY HAS BEEN COMPLETED AND IS AVAILABLE FROM THE PROJECT MANAGER

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ROGERS AND ORTON HALLS

STOREFRONT UPGRADES

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SHEET TITLE

**FLOOR PLAN -
DETAILS/NOTES -
ORTON HALL**

A102


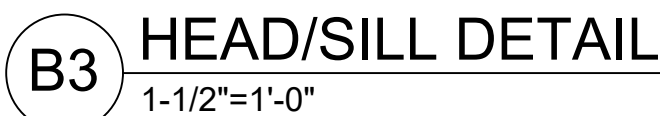
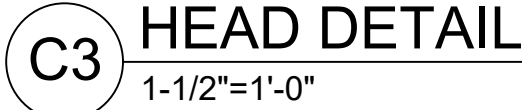
SHEET 3 OF 4 SHEETS

DOOR HARDWARE SCHEDULE												
DOOR TAG	TYPE	SIZE*	EQUIPMENT/QUANTITY									NOTES
			PS	ED	PTX	PLS	PSH	ML	AO	CLSR	SPS	
A	DOUBLE	6'-0" X 7'-0"	2	2*	2*	2	-	1	1	1	1	
B	DOUBLE	6'-0" X 7'-0"	2	2*	2*	2	-	1	-	2	-	
C	DOUBLE	6'-0" X 7'-0"	2	2*	2*	2	-	1	1	1	1	
D	DOUBLE	6'-0" X 7'-0"	2	2*	2*	2	-	1	-	1	-	

DOOR HARDWARE LEGEND:

ACTUATORS - LCN JAMB MOUNT - 8310-818, JAMB BOX 8310-819S (INSIDE BLDG.)
'ADA BUTTON' - WALL MOUNT 8310-855, MOUNT BOX 8310-867S (OUTSIDE BLDG.)

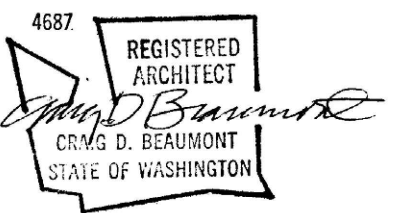
- ADDITIONAL HARDWARE NOTES:**
CONTRACTOR WILL PROVIDE THE ELECTRICAL DEMOLITION THAT IS ASSOCIATED WITH THE DOOR HARDWARE. THE EXIT DEVICE INSTALLED AT THE FACTORY AS PART OF THE DOOR PACKAGE BY DOOR/GLASS CONTRACTOR (CONTRACTOR TO TERMINATE). POWER TRANSFER INSTALLED AT THE FACTORY AS PART OF THE DOOR PACKAGE BY DOOR/GLASS CONTRACTOR (CONTRACTOR TO TERMINATE). ADA OPERATOR INSTALLED AT THE FACTORY AS PART OF THE DOOR PACKAGE BY THE DOOR/GLASS CONTRACTOR (CONTRACTOR WILL DO THE REQUIRED WIRING ON-SITE). POSITION SENSOR AND SCHLAGE POWER SUPPLY PROVIDED BY THE DOOR HARDWARE CONTRACTOR AND INSTALLED BY THE CONTRACTOR.



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SHEET TITLE

DETAILS/ SCHEDULES

A103

SHEET 4 OF 4 SHEETS